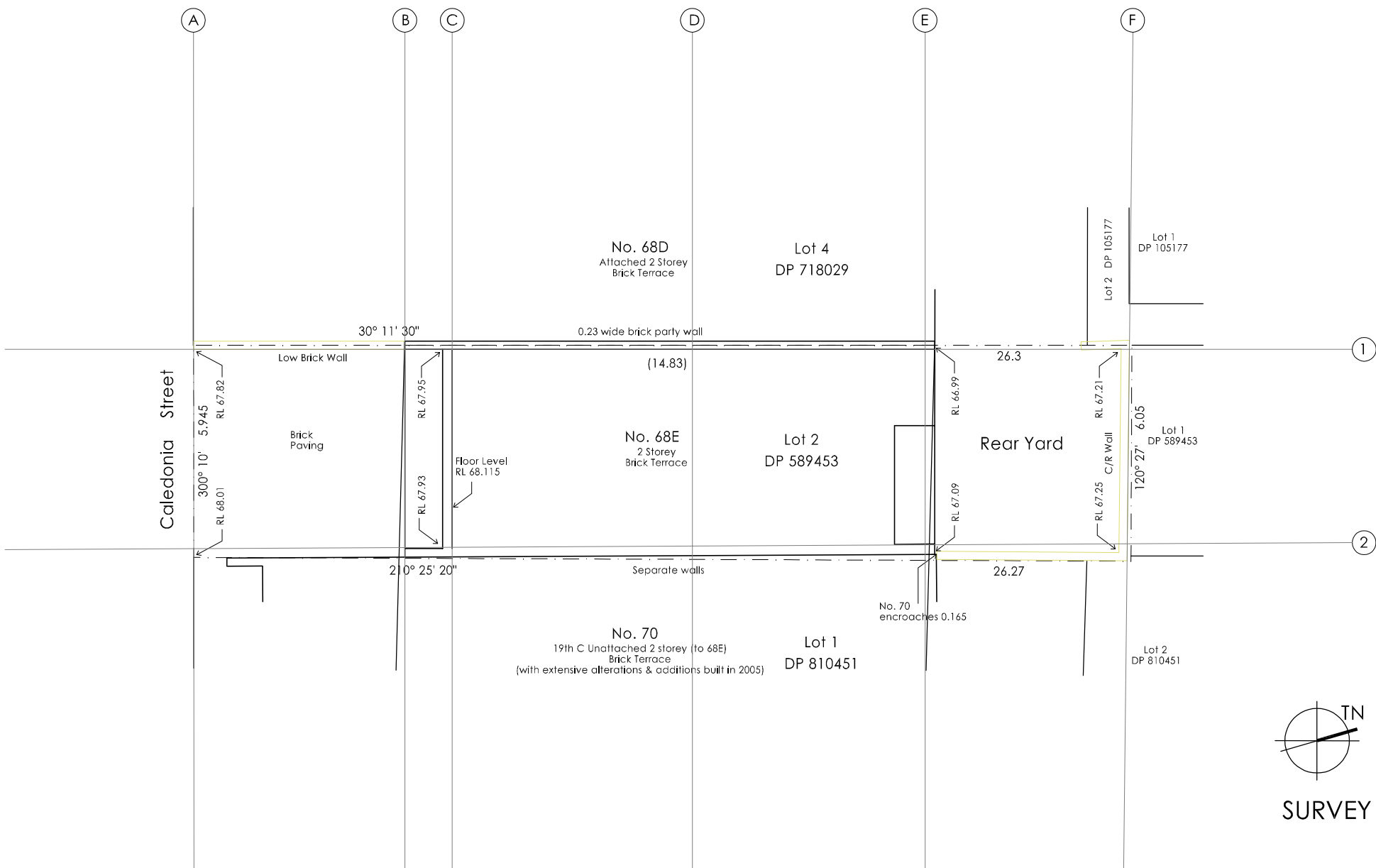
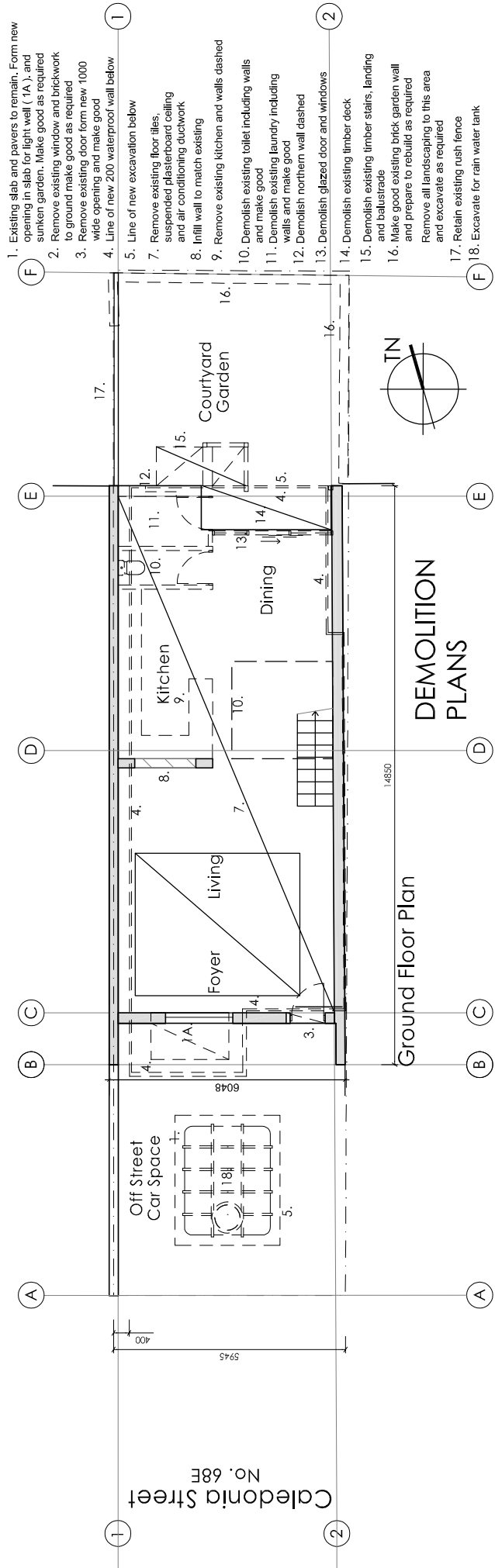
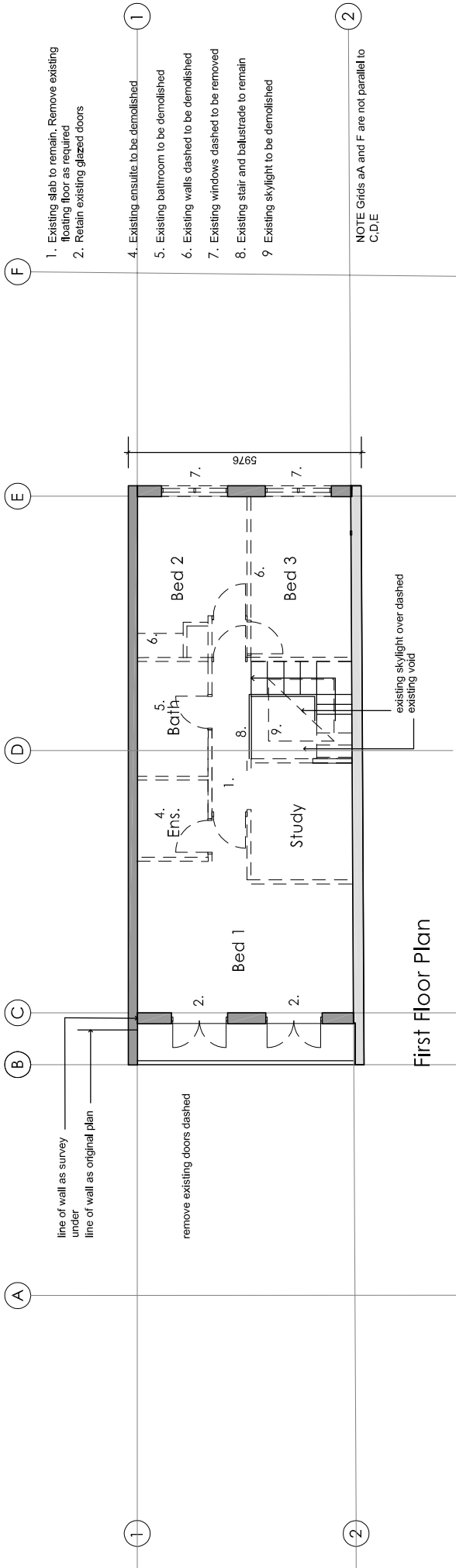
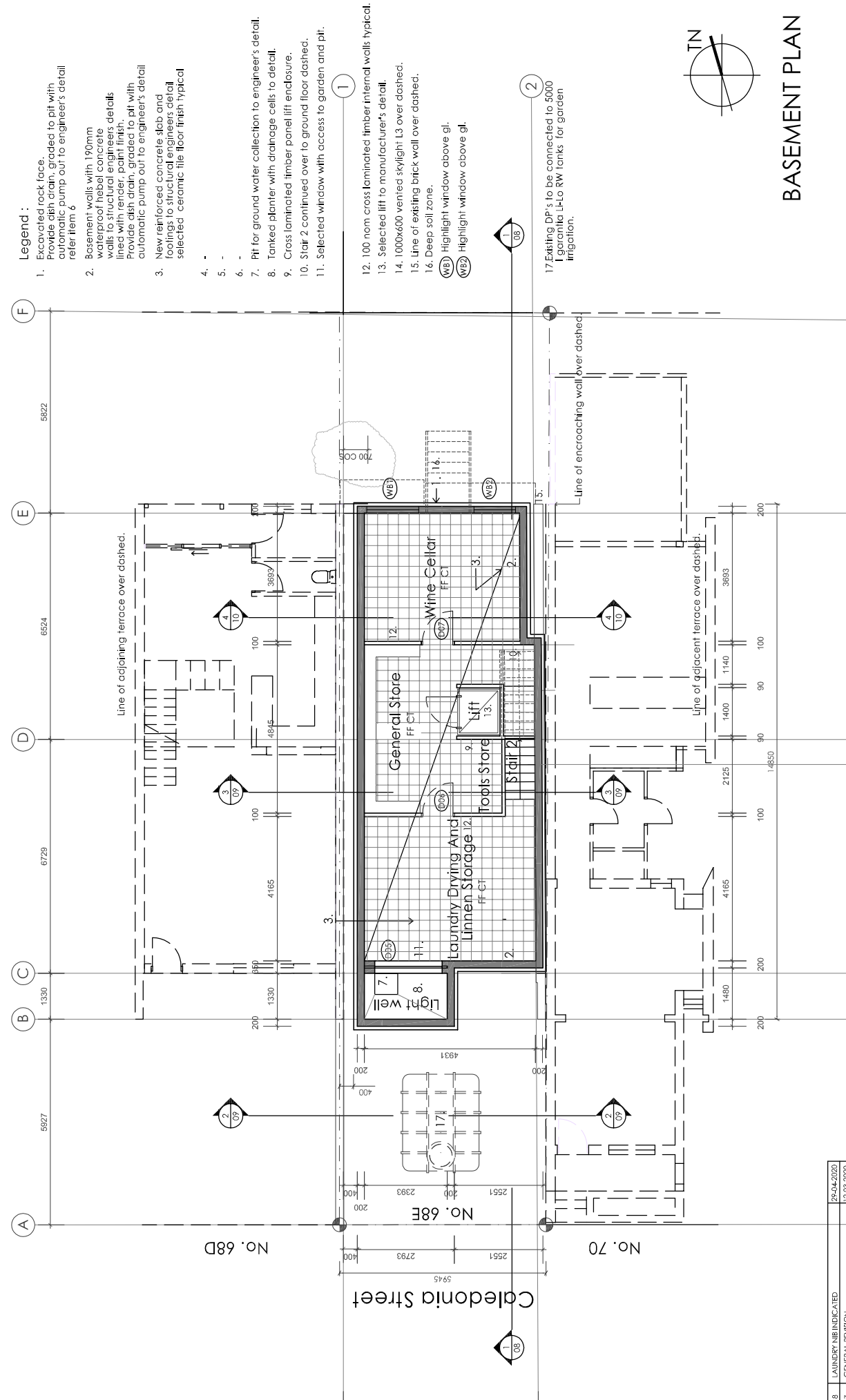


SURVEY PLAN

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Rev	AMENDMENT	Date	Client	PROJECT	ECOSYSTEM ARCHITECTURE	Scale	1:100 @ A3
4		06-03-2017	MARY CURTIS	ADDITIONS AND ALTERATIONS TO RESIDENCE AT 68E CALEDONIA STREET, PADDINGTON	ABN: 741 351 80102 AUSTRALIA SYDNEY NSW 2000	1.0 2.0 3.0 5.0	06-03-2017
1	PRELIMINARY	14-02-2017			P: 8224 8549 F: 8224 8999 M: 0434 511 044		
2	REVISION	05-05-2017			E: richard.mann@ecosystemarchitecture.com.au		
3	EXCAVATION EXTENT ADJUSTED. ISSUED FOR DA	11-02-2020			Nonrated Architect: Richard Mann		
4	REVISED	07-02-2017			B.Arch RAA NSW Reg: 4812 VIC Reg: 13256		



BASEMENT PLAN

8	LAUNDRY NIB INDICATED	29-04-2020
7	GENERAL REVISION	12-03-2020
6	GENERAL REVISION, ISSUE FOR DA	12-03-2020
5	GENERAL REVISION	20-09-2018
4	REVISED	05-05-2017
3	PRELIMINARY	15-05-2017
2	PRELIMINARY	14-02-2017
1	PRELIM. SETUP	07-02-2017
Rev.	AMENDMENT	Date

PROJECT :
ADDITIONS AND ALTERATIONS TO
RESIDENCE AT
68E CALEDONIA STREET, PADDINGTON

Client
M. E. CURTIS

ECOSYSTEM ARCHITECTURE
ABN: 741 351 80102 AUSTRALIA
L26, 1 BLIGH STREET SYDNEY NSW 2000
P: 8224 8549 F: 8224 8899 M: 0434 511 044
E: richard.mann@ecosystemarchitecture.com.au
Nonrated Architect: Richard Mann
B.Arch RAA NSW Reg : 4812 VIC Reg: 13256

Scale 1:100 @ A3
1.0 2.0 3.0 5.0

Date 06-03-2017

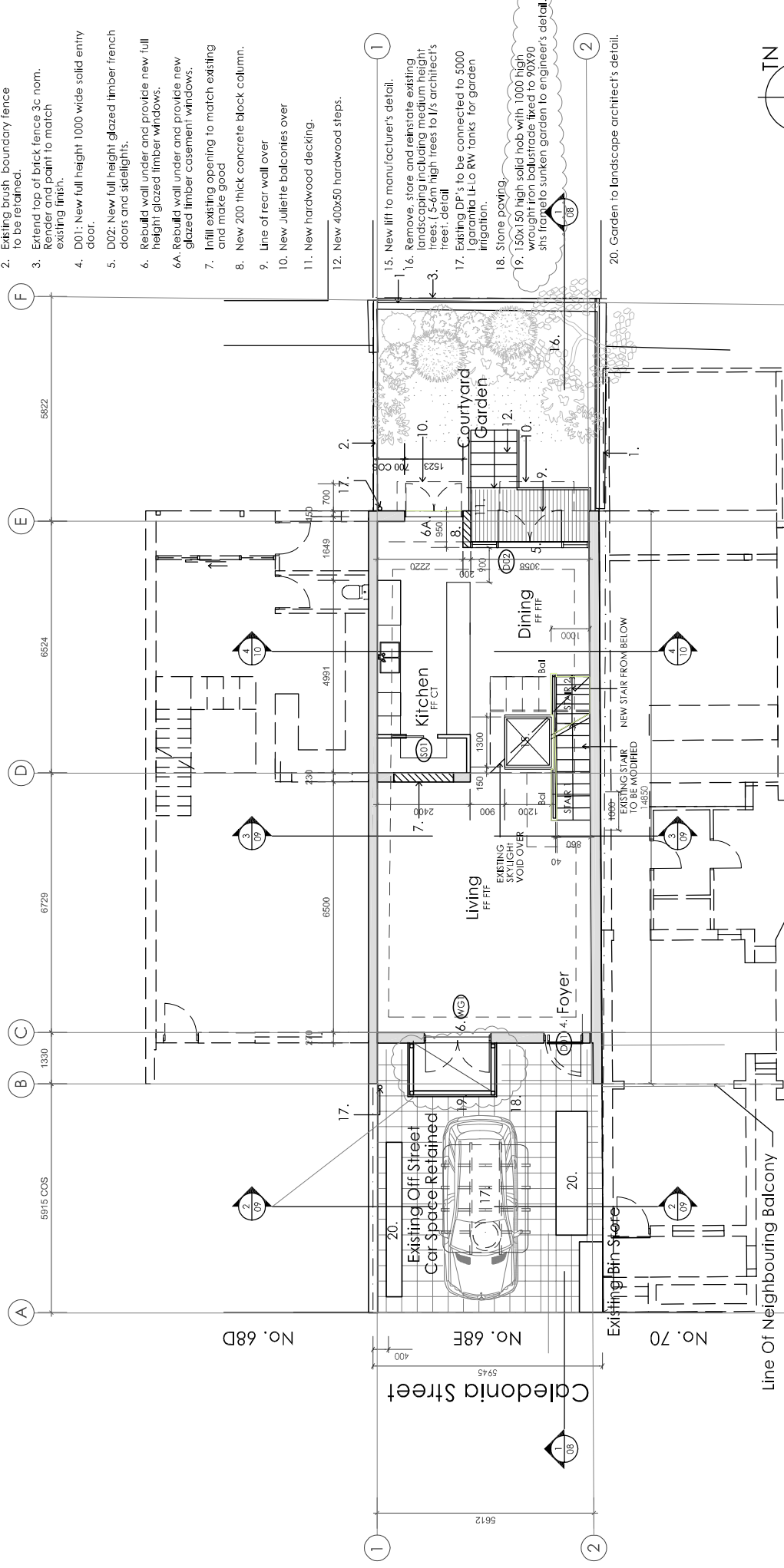
Project No. 1001

Dwg No. DA-03

Rev 8

Legend :

- Existing brick boundary fence to be retained.
- Existing brush, boundary fence to be retained.
- Extend top of brick fence 3c nom. Render and paint to match existing finish.
- D01: New full height 1000 wide solid entry door.
- D02: New full height glazed timber french doors and sidelights.
- Rebuild wall under and provide new full height glazed timber windows.
- Rebuild wall under and provide new glazed timber casement windows.
- Infill existing opening to match existing and make good
- New 200 thick concrete block column.
- Line of rear wall over
- New Juliette balconies over
- New hardwood decking.
- New 400x50 hardwood steps.
- New lift to manufacturer's detail.
- Remove, store and reinststate existing landscaping including medium height trees (5-6m high trees to 1/2 architect's feet detail
- Existing DP's to be connected to 5000 Litre L1-o RW tanks for garden irrigation
- Stone paving
- 150x150 high solid slab with 1000 high wrought iron balustrade fixed to 90x90 shs frame sunk garden to engineer's detail.
- Garden to landscape architect's detail.



GROUND FLOOR PLAN

ECOSYSTEM ARCHITECTURE ABN: 741 351 80102 L26, 1 BLIGH STREET SYDNEY NSW 2000 P: 8224 8549 F: 8224 8899 M: 0434 511 044 E: richard.mann@ecosystemarchitecture.com.au Richard Mann B.Arch RAA NSW Reg: 4812 VIC Reg: 13256		PROJECT ADDITIONS AND ALTERATIONS TO RESIDENCE AT 68E CALEDONIA STREET, PADDINGTON	Scale 1:100 @ A3 1.0 2.0 3.0 5.0	Date 06-03-2017	Rev 13
Client M. E. CURTIS		Project No. 1001	Dwg No. DA-04		
Revised 07-03-2017		Revised 07-03-2017	Revised 07-03-2017		

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 Report any discrepancies to the architect before commencing the work. Work to figured dimensions only.
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Rev	Amendment	Date
13	SUNKEN GARDEN BALUSTRADE UPGRADED	25-04-2020
12	BALCONY TO NO.70 AMENDED	25-04-2020
11	KITCHEN BALCONY DELETED, D03 TO WC2	19-05-2020
10	NB AND D03 UPGRADED	29-04-2020
9	UPGRADED	17-03-2020
8	UPGRADED	17-03-2020
7	UPGRADED AND ISSUED FOR DA	12-03-2020
6	RW TANK INDICATED REISSUED	24-02-2020
5	REISSUED	20-02-2020
4	REVISED	05-05-2017
3	PRELIMINARY	15-03-2017
2	PRELIMINARY	14-03-2017
1	PRELIM SETUP	07-03-2017

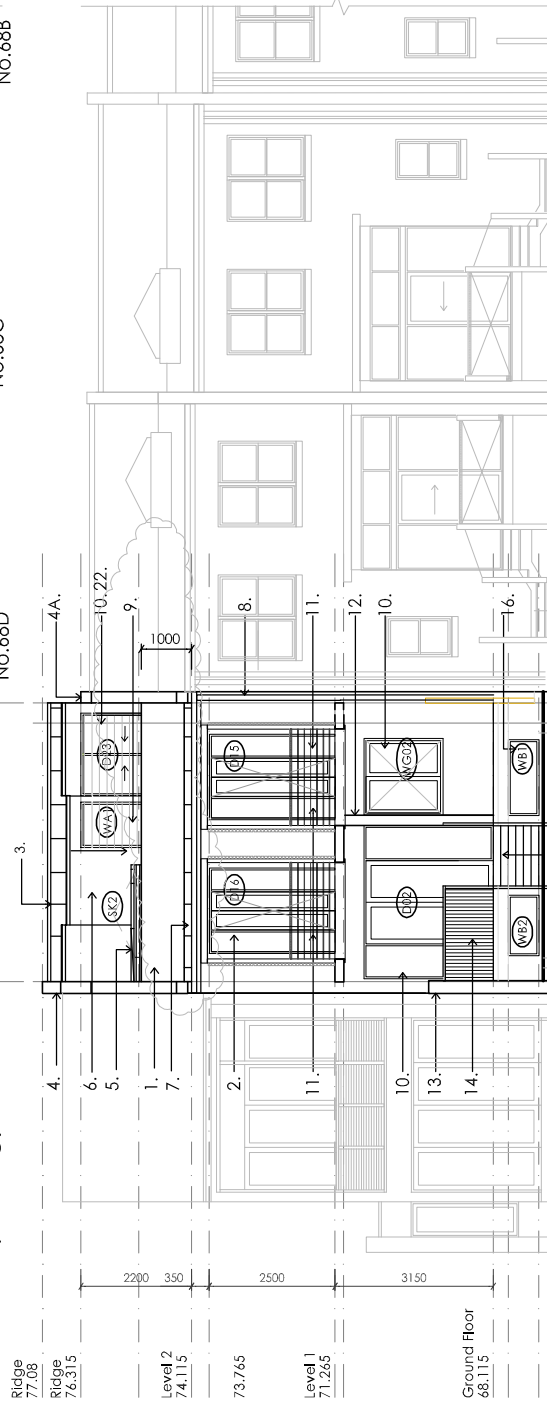


Elevation (Existing) (Rear) No.70

No.68E

No.68C

No.68B



Elevation (Proposed) (Rear)

No.70

No.68D

No.68C

No.68B

ELEVATIONS NORTH

Rev	Amendment	Date
1	DOCS REVISED	28/04/2020
2	WALL ON GRID 1 REVISED, NOTES REVISED	15/04/2020
3	UPGRADED	17/03/2020
4	UPGRADED AND ISSUED FOR DA	17/03/2020
5	REVISED	20/09/2018
6	68A-8 DELETED	08/02/2017
7	REVISED	05/02/2017
8	NEW SHEET	24/03/2017
9	PRELIMINARY	17/03/2017
10	PRELIMINARY	16/03/2017
11	PRELIM SETUP	07/03/2017

PROJECT
ADDITIONS AND ALTERATIONS TO
RESIDENCE AT
68E CALEDONIA STREET, PADDINGTON
 Client
 M. E. CURTIS

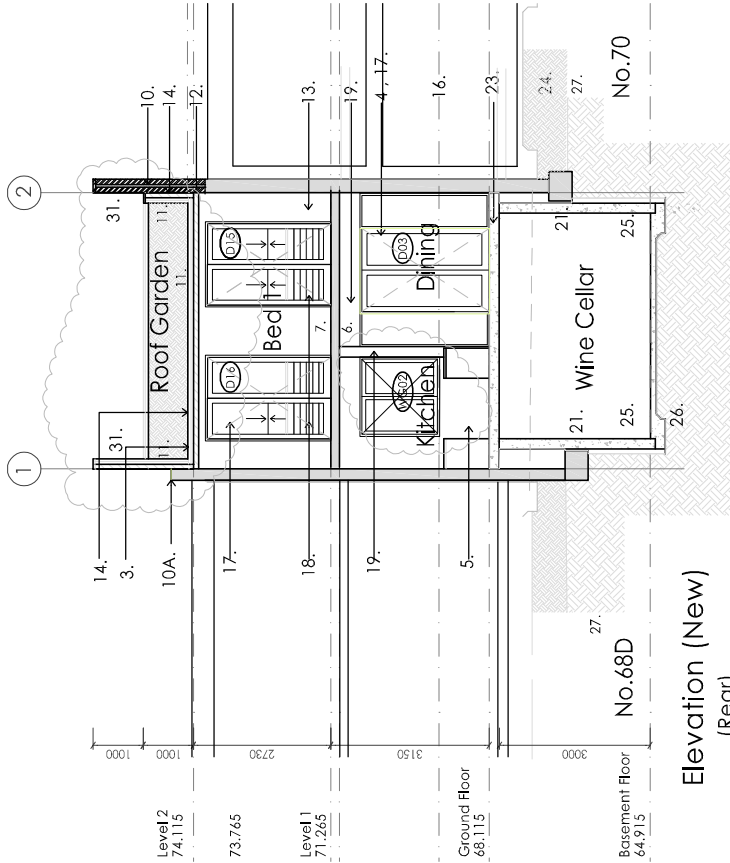
ECOSYSTEM ARCHITECTURE
 ABN: 741 351 80102
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 E: richard.mann@ecosystemarchitecture.com.au
 Nominated Architect:
 B.Arch RAA NSW Reg: 4812 VIC Reg: 13256
 Richard Mann



Scale	1:100 @ A3
Date	06-03-2017
Project No.	1001
Dwg No.	DA-07
Rev	14

Legend :

- Excavate as required.
- Create full height openings for new full height windows. Provide lintels as required lintels.
- New 1000 high metal balustrade to new sunken garden and light well
- Create full height openings for new full height french doors. Provide lintels as required lintels.
- New Kitchen.
- New ceiling and ac ductwork.
- Existing floor to remain, make good.
- Excavate, underpin and trim footings as required
- Silver grey zinc standing seam gable cladding with standing seam detail. 10A Existing brick parapet. Cap and flash as required
- Extend existing brick parapets. Cap and flash as required
- Selected lining on battens
- New CLT panel floor and decks .
- New CLT panel wall or lift shaft enclosure.
- New CLT framed planters with waterproof linings graded to outlets
- Silver grey Colorbond gutters, dps and accessories connected to rain tanks in basement
- Aluminium framed casement windows glazed with low E glass.
- Jarrah framed French doors glazed with low e glass shut windows.
- New steel framed Juliette balconies to structural engineers detail
- Wrought iron balustrade
- New reinforced concrete column to engineer's detail
- Existing residence
- Modify footings and underpin to engineer's detail.
- New 400x50 hardwood steps.
- Make good to reinforced concrete floor slab to engineer's detail.
- 200 thick waterproof reinforced concrete roof to structural engineers details.
- 200 thick waterproof reinforced concrete walls to structural engineers details.
- Reinforced concrete footings and slab to engineer's detail. Provide dish drain graded sump with pump out to council approval
- Existing concrete floor to be made good.
- reinstatate landscape to landscape architect's detail.
- Make good to rush fence.
- Extend brick fence by 3 courses and make good.
- Extend brick parapet as specified.



Section 4

SECTION 4

12	KITCHEN WINDOW AND TERRACE REVISED	09-02-2020
11	PARTY WALL AND BALUSTRADE REVISED	25-05-2020
10	BASEMENT RL ADDED	30-04-2020
9	WALL GRID 1 REVISED, GENERAL UPGRADE	15-04-2020
8	UPGRADED	27-03-2020
7	UPGRADED	27-03-2020
6	ISSUED FOR DA	12-03-2020
5	REVISED AND SECTION 5 DELETED	20-02-2017
4	REVISED	05-05-2017
3	RENAMED DA 10	24-03-2017
2	PRELIMINARY	17-03-2017
1	PRELIM SETUP	07-03-2017
Rev	AMENDMENT	Date

Note :
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PROJECT
ADDITIONS AND ALTERATIONS TO RESIDENCE AT 68E CALEDONIA STREET, PADDINGTON
Client
M. E. CURTIS

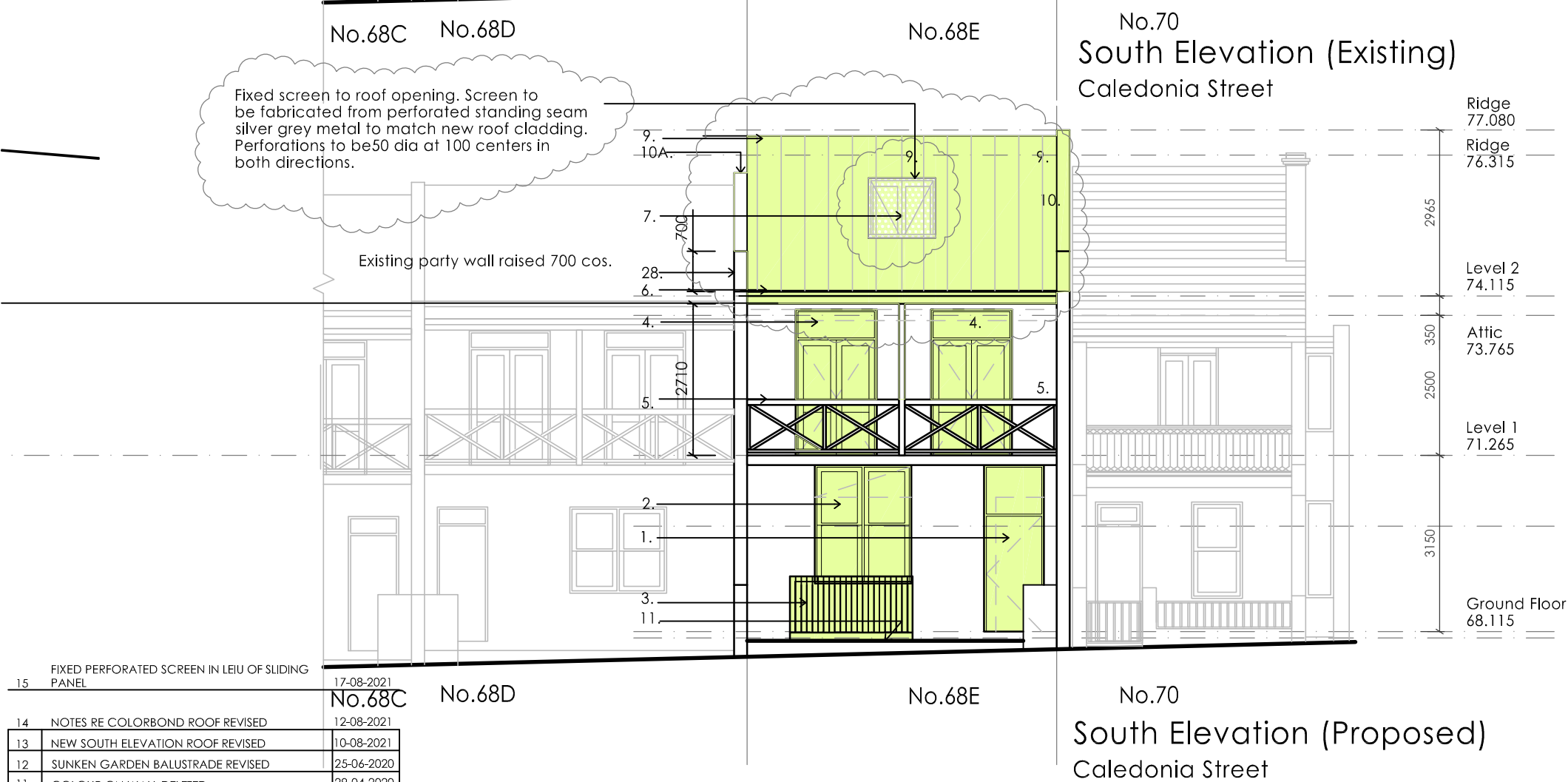
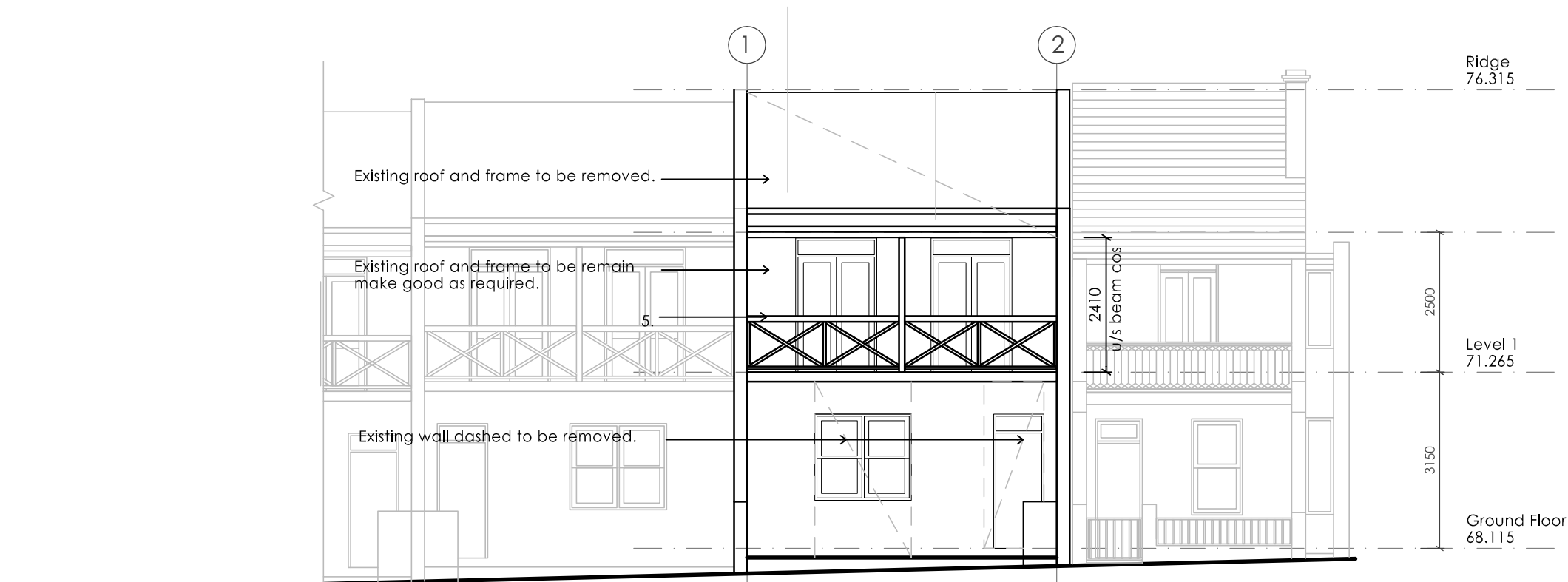
ECOSYSTEM ARCHITECTURE
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Nominated Architect: Richard Mann
B.Arch RAA NSW Reg : 4812 VIC Reg: 13256



Scale 1:100 @ A3
1.0 2.0 3.0 5.0

Project No. 1001 Dwg No. DA-10 Rev 12

Date 06-03-2017



Legend :

1. Create full height openings for new 1000 wide selected entry door.
2. Create full height openings for new full height windows. Provide lintels as required lintels.
3. 150x150 high solid hob with 1000 high wrought iron balustrade fixed to 90x90 shs frame to sunken garden to engineer's detail.
4. Create full height openings for new full height french doors. Provide lintels as required lintels.
5. Existing white painted balustrade to remain
6. New white painted timber fascia to detail
7. New inward opening full height french doors. Provide lintels as required lintels.
8. External steel stud wall to be insulated to provide an insulation value of R=3.0
9. Silver grey colorbond roofing and matching flashings.
10. Extend existing brick parapet. Cap and flash as required
- 10A. Existing brick parapet. Cap and flash as required
11. Make good to drive with compacted fill over excavated area.
12. New skylight to roof deck.
13. New lift shaft enclosure.
15. Silver grey Colorbond gutters, dps and accessories connected to rain tanks in basement
16. Aluminium framed casement windows glazed with low E glass.
17. Jarrah framed French doors glazed with low e glass shug windows.
18. New steel framed Juliette balconies to structural engineers detail Wrought iron balustrade
19. New reinforced concrete column to structural engineers detail
20. Extend brick wall 3 courses and make good
21. New 400x50 hardwood shelf.
22. New 400x50 hardwood steps.
23. New 1000x600 vented skylight on 600 high dwarf walls.
24. 200 thick waterproof reinforced concrete roof to structural engineers details.
25. 200 thick waterproof reinforced concrete walls to structural engineers details.
26. Reinforced concrete footings and slab to engineer's detail. Provide dish drain graded sump with pump out to council approval
27. Existing sandstone to be excavated.
28. Extend party wall capping height 700 mm.

15	FIXED PERFORATED SCREEN IN LEIU OF SLIDING PANEL	17-08-2021
14	NOTES RE COLORBOND ROOF REVISED	12-08-2021
13	NEW SOUTH ELEVATION ROOF REVISED	10-08-2021
12	SUNKEN GARDEN BALUSTRADE REVISED	25-06-2020
11	COLOUR ON WALL DELETED	29-04-2020
10	WALL ON GRID 1 REVISED, NOTES REVISED	15-04-2020
9	UPGRADED	12-03-2020
8	ISSUED FOR DA	12-03-2020
7	REISSUED	20-09-2018
6	68a- 68b DELETED	09-05-2017
5	REVISED	05-05-2017
4	SPLIT INTO DA 06/07	24-03-2017
3	PRELIMINARY	17-03-2017
2	PRELIMINARY	16-03-2017
1	PRELIM SET UP	07-03-2017
Rev.	AMENDMENT	Date

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PROJECT
ADDITIONS AND ALTERATIONS TO
RESIDENCE AT
68E CALEDONIA STREET, PADDINGTON

Client
M. E. CURTIS

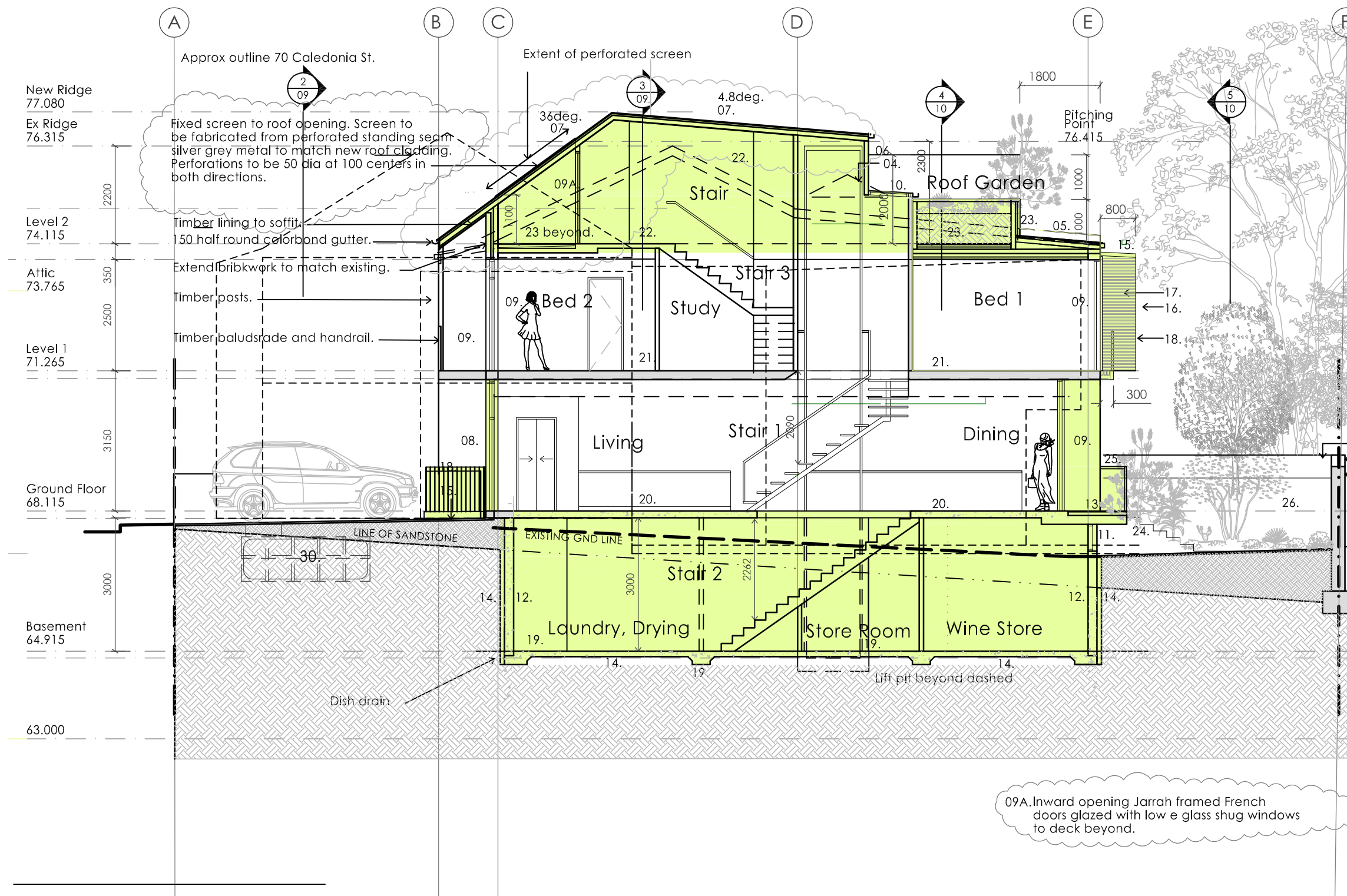
OPTION 3

ECOSYSTEM ARCHITECTURE
ABN: 741 351 80102 AUSTRALIA
L26, 1 BLIGH STREET SYDNEY NSW 2000
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E: richard.mann@ecosystemarchitecture.com.au
Nominated Architect: Richard Mann
B.Arch RAIA NSW Reg : 4812 VIC Reg: 13256



Scale		1:100 @ A3
1.0	2.0	3.0 5.0
		
Date	06-03- 2017	
Project No.	Dwg No.	Rev
1001	DA-06	15

SOUTH ELEVATIONS



- Legend :
01. Existing brick boundary fence to be retained and made good.
 02. Existing brush boundary fence to be retained.
 03. Extend top of brick fence 3c nom. Render and paint to match existing finish.
 04. Existing skylight demolished ref dwg DA02.
 05. Silver grey colorbond standing seam roofing to replace existing on CLT panels to structural engineer's detail.
 06. Silver grey colorbond standing seam gable cladding over cross laminated timber wall panel.
 07. New colorbond standing seam roofing insulation fixed to raking cross laminated timber panels to engineer's detail.
 08. D01: 1000 wide Jarrah framed full-height door glazed with low e glass.
 09. Jarrah framed French doors glazed with low e glass shug windows to deck beyond.
 10. New aluminium framed skylight glazed with low e glass.
 11. New aluminium framed highlight glazed with low e glass.
 12. New waterproof 200 Hebel concrete walls with min 100 gap to new excavated sandstone. Provide dish drain graded to sump with automatic pump to engineer's detail.
 13. Raised hardwood decking to future detail.
 14. Waterproof membrane to detail.
 15. Roof over Juliette balcony to future detail.
 16. New steel framed Juliette balcony.
 17. Clear finished 25 x 25 hardwood dressed battens over micaceous coated sheet steel screen wing walls.
 18. 150x150 high solid hob with 1000 high wrought iron balustrade fixed to 90x90 shs frame to sunken garden to engineer's detail.
 19. New reinforced concrete footings and slabs to structural engineers detail. New tanking and floor finishes as shown on plan.
 20. Existing reinforced concrete slabs to be made good to structural engineers detail. New floating floors typical.
 21. Existing reinforced concrete slabs to be made good to structural engineers detail.
 22. New cross laminated floor and partitions to manufacturer's detail.
 23. New cross laminated deck and planters to manufacturer's detail. Selected waterproofing and timber cladding 1000 high.
 24. New 400x50 hardwood steps behind.
 25. Hardwood balustrade to future detail.
 26. Remove, store and reinstate existing landscaping including medium height trees.
 27. Existing boundary landscaping to rear neighbour's garden courtyard.
 28. New and existing roof to be insulated to achieve a value of R = 4.0.
 29. New exterior walls to be insulated to achieve a value of R = 3.0.
 30. Existing DP's to be connected to 5000 l garantia Li-Lo RW tanks for garden irrigation.

SECTION 1

19	FIXED PERFORATED SCREEN IN LEIU OF SLIDING PANEL	17-08-2021
18	NOTES RE COLORBOND ROOF REVISED	12-08-2021
17	ATTIC AND ROOF REVISED	10-08-2021
16	SUNKEN GARDEN BALUSTRADE REVISED	25-06-2020
15	ROOF GARDEN BALUSTRADE DELETED	26-05-2020
14	PARTY WALL ON ROOF GARDEN REVISED	25-05-2020
13	JULIETTE BALC AND ROOF GARDEN REVISED	19-05-2020
12	BASEMENT RL 64.915	30-04-2020
11	WALL ON GRID 1 REVISED	15-04-2020
10	UPGRADED	17-03-2020
9	UPGRADED AND ISSUED FOR DA	17-03-2020
8	UPGRADED AND ISSUED FOR DA	11-03-2020
7	5000 L RW TANK INDICATED	26-09-2018
6	REVISED	20-09-2018
5	REVISED	05-05-2017
4	RENAMED DA 08	24-03-2017
3	PRELIMINARY	17-03-2017
2	PRELIMINARY	15-03-2017
1	PRELIM SET UP	07-03-2017
Rev.	AMENDMENT	Date

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PROJECT
ADDITIONS AND ALTERATIONS TO
RESIDENCE AT
68E CALEDONIA STREET, PADDINGTON

Client
RICHARD MANN

OPTION 3

ECOSYSTEM ARCHITECTURE

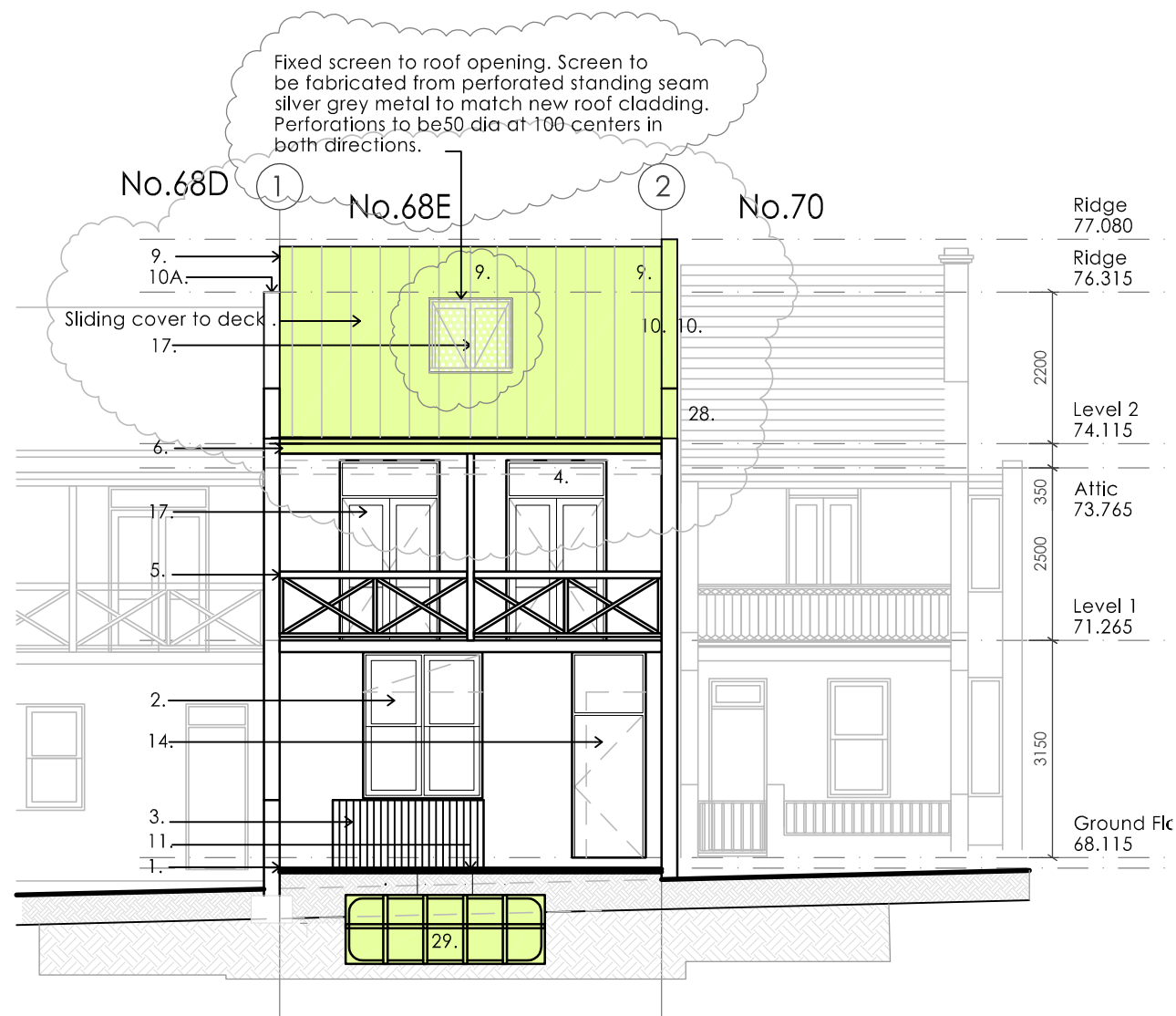
ABN: 741 351 80102 AUSTRALIA
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P: 8226 8549 F: 8226 8899 M: 0434 511 044
E: richard.mann@ecosystemarchitecture.com.au
Nominated Architect: Richard Mann
B.Arch RAIA NSW Reg: 4812 VIC Reg: 13256

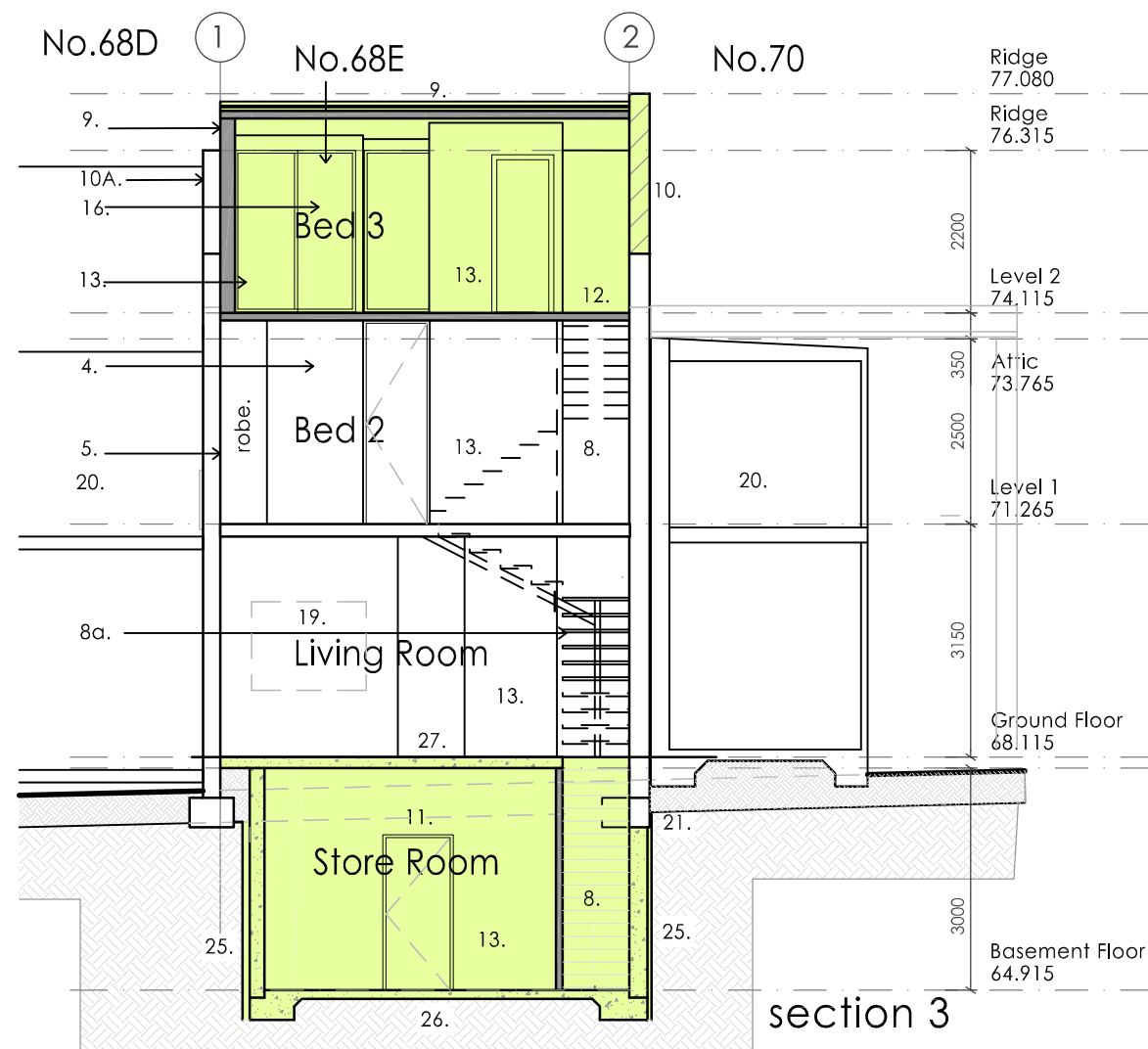


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Date	06-03- 2017		
Project No.	Dwg No.	Rev	
1001	DA-08	19	

Fixed screen to roof opening. Screen to be fabricated from perforated standing seam silver grey metal to match new roof cladding. Perforations to be 50 dia at 100 centers in both directions.



section 2



section 3

Legend :

1. Create full height openings for new 1000 wide selected entry door.
2. Create full height openings for new full height windows. Provide lintels as required lintels.
3. New 1000 high metal balustrade to new sunken garden and light well
4. Create full height openings for new full height french doors. Provide lintels as required lintels.
5. Existing white painted balustrade to remain
6. New white painted timber fascia to detail
7. New full height french doors. Provide lintels as required lintels.
8. New stair to detail
- 8a. Make good to existing stair to detail
9. Silver grey colorbond standing seam gable cladding with standing seam detail.
10. Extend existing brick parapet. Cap and flash as required
- 10A. Existing brick parapet. Cap and flash as required
11. Make good to drive with compacted fill over excavated area.
12. New CLT panel floor .
13. New CLT panel wall or lift shaft enclosure.
14. D01: 1000 wide Jarrah framed full height door glazed with low e glass.
- 14A. New selected timber window.
15. Silver grey Colorbond gutters, dps and accessories connected to rain tanks in basement
16. Aluminium framed sliding doors glazed with low E glass.
17. Jarrah framed French doors glazed with low e glass shug windows.
18. New steel framed Juliette balconies to structural engineers detail Wrought iron balustrade
19. Infill existing wall and make good
20. Existing residence
21. Modify footings and underpin to engineer's detail.
22. New 400x50 hardwood steps.
23. New 1000x600 vented skylight on 600 high dwarf walls.
24. 200 thick waterproof reinforced concrete roof to structural engineers details.
25. 200 thick waterproof reinforced concrete walls to structural engineers details.
26. Reinforced concrete footings and slab to engineer's detail. Provide dish drain graded sump with pump out to council approval
27. Existing concrete floor to be made good.
28. Extend party wall capping height 700 mm.
29. Existing DP's to be connected to 5000 l garantia Li-Lo RW tanks for garden irrigation.

14	FIXED PERFORATED SCREEN IN LEIU OF SLIDING PANEL	17-08-2021
13	NOTES RE COLORBOND ROOF REVISED	12-08-2021
12	SOUTHERN ROOF REVISED	10-08-2021
11	BASEMENT RL ADDED	30-04-2020
10	EXTENT OF COLOUR ON WALL GRID 1 REVISED	29-04-2020
9	WALL GRID 1 REVISED, NOTES UPDATED	15-04-2020
8	UPDATED	17-03-2020
7	UPDATED	17-03-2020
6	ISSUED FOR DA	12-03-2020
6	TANK ROOM DELETED, 5000LT RW TANK ADDED	12-03-2020
5	REVISED	05-05-2017
4	RENAMED DA 09	24-03-2017
3	PRELIM SET UP	17-03-2017
2	PRELIM SET UP	16-03-2017
1	PRELIM SET UP	07-03-2017
Rev.	AMENDMENT	Date

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PROJECT
ADDITIONS AND ALTERATIONS TO
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68E CALEDONIA STREET, PADDINGTON

Client
M. E. CURTIS

OPTION 3

ECOSYSTEM ARCHITECTURE

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architecture



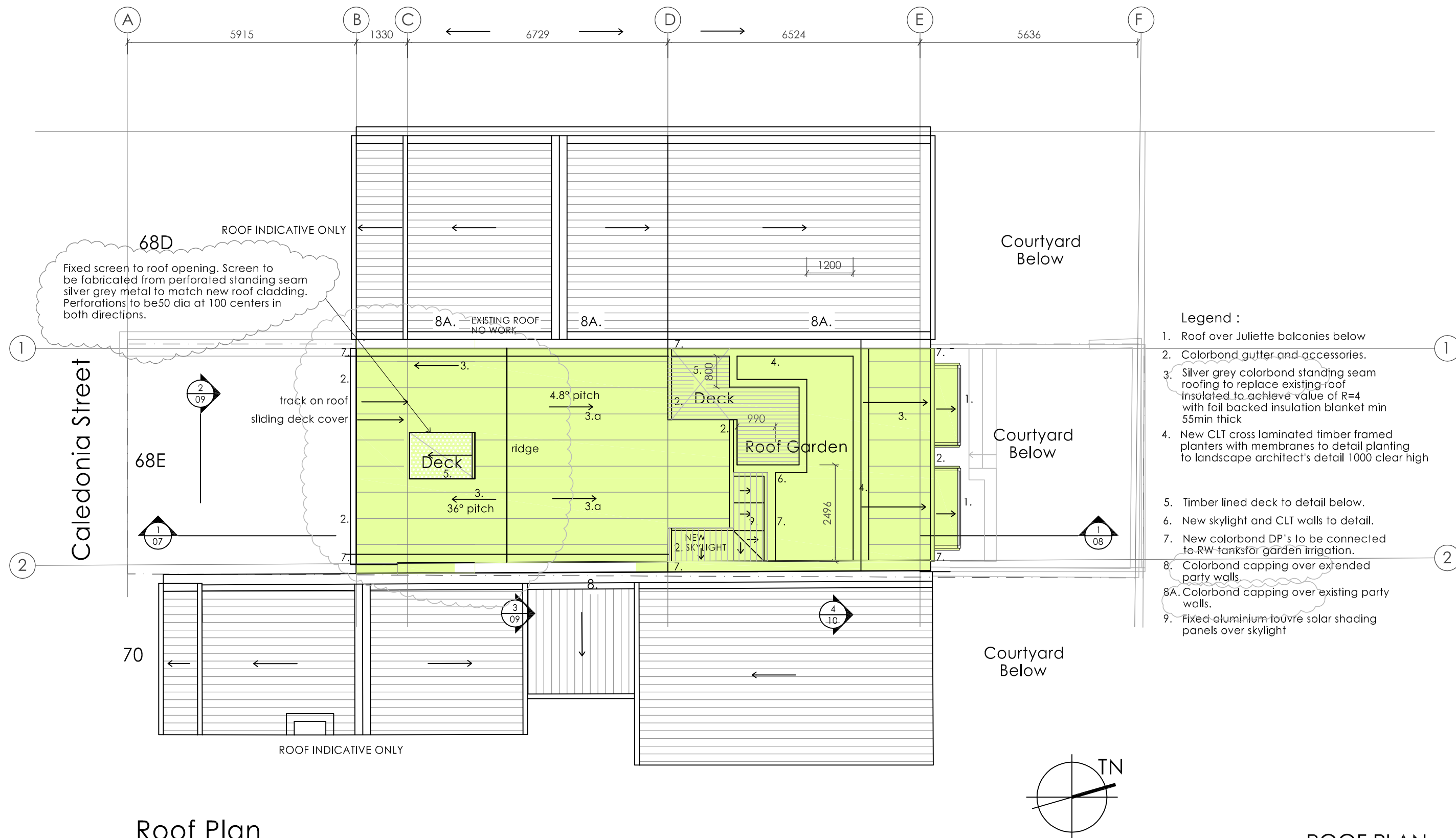
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Date 06-03-2017

Project No. 1001 Dwg No. DA-09 Rev 14

SECTIONS 2 & 3



Roof Plan

ROOF PLAN

	FIXED PERFORATED SCREEN IN LEIU OF SLIDING	
6	PANEL	17-08-2021
5	NOTES RE COLORBOND REVISED	12-08-2021
4	SOUTH ROOF REVISED	10-08-2021
3	PLANTER BALUSTRADE REVISED	26-05-2020
2	PLANTER PARAPETS AND BALUSTRADE REVISED	25-05-2020
1	FIRST ISSUE	19-05-2020
Rev.	AMENDMENT	Date

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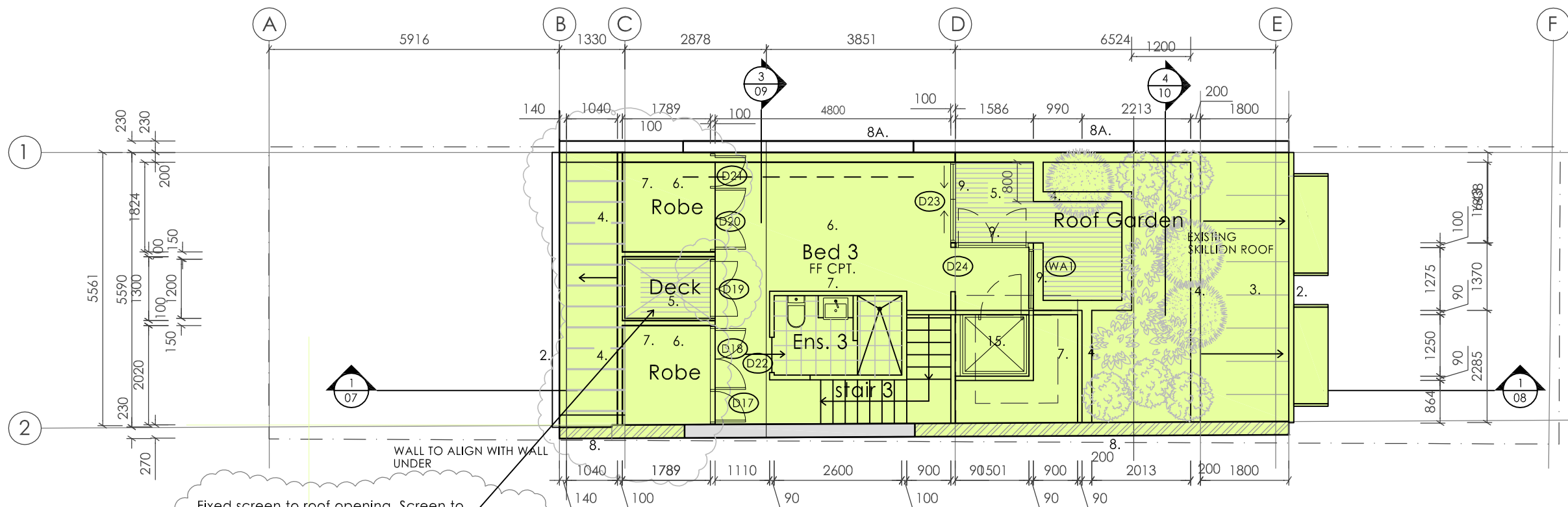
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Date 06-03-2017

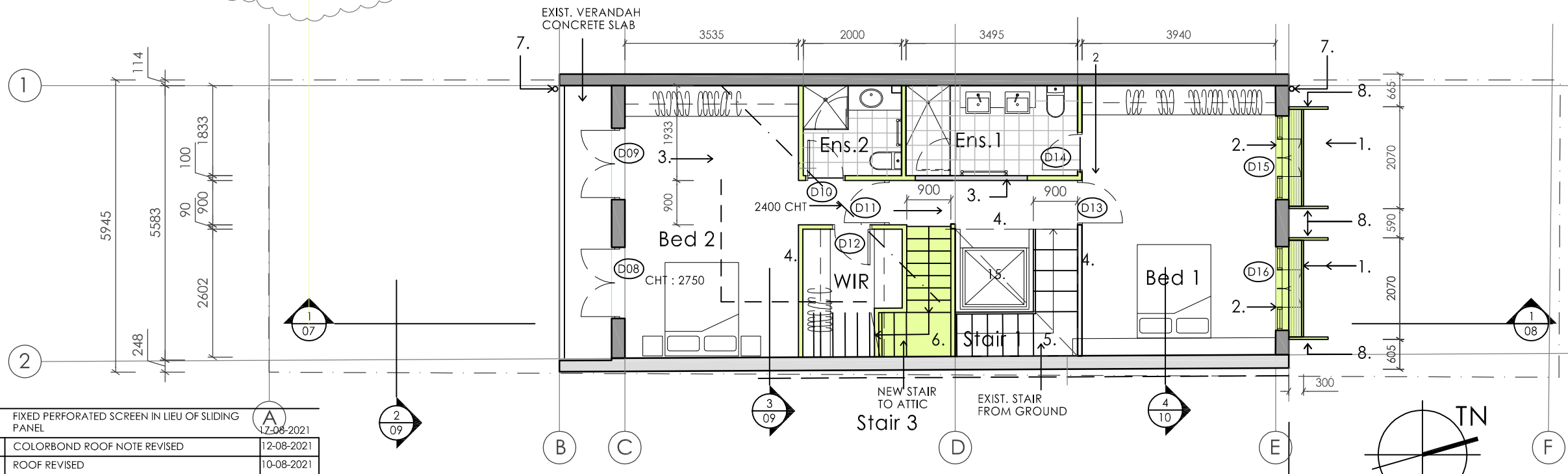
Project No. 1001 Dwg No. DA-15 Rev 06



Attic Floor Plan

Legend :

1. Roof over Juliette balconies below
2. Colorbond gutter and accessories.
3. Silver grey colorbond standing seam roofing to replace existing roof insulated to achieve value of R=4.
4. New CLT cross laminated timber framed planters with membranes to detail planting to landscape architect's detail 1000 high
5. Timber lined deck to detail.
6. New cross laminated timber floor to detail.
7. New cross laminated timber partitions to detail.
8. Colorbond capping over extended party walls.
- 8A. Colorbond capping over existing party walls.
9. Operable timber exterior louvre solar blinds to WA1, D23, D24



First Floor Plan

Legend :

1. New steel framed Juliette balconies to structural engineers detail with Hardwood flooring.
2. Create full height openings for new French doors and sidelights within current width of existing windows. Retain lintels.
3. New steel stud and 13mm plasterboard partition with sound rated insulation.
4. New cross laminated timber partitions to detail.
5. Existing steel and timber stair
6. New timber stair
7. Existing DP's to be connected to RW tanks for garden irrigation.
8. Timber cladding to detail.

FIRST AND ATTIC FLOOR PLANS

16	FIXED PERFORATED SCREEN IN LIEU OF SLIDING PANEL	17-08-2021
15	COLORBOND ROOF NOTE REVISED	12-08-2021
14	ROOF REVISED	10-08-2021
13	ROOF GARDEN ACCESS REVISED	26-05-2020
12	ROOF GARDEN AND JULIETTE BALCONIES REVISED	19-05-2020
11	COLOUR DELETED FROM WALL	29-04-2020
10	WALL GRID 1 ATTIC AND ROOF, NOTES REVISED	15-04-2020
9	UPGRADED	17-03-2020
8	UPGRADED	17-03-2020
7	UPGRADED AND ISSUED FOR DA	12-03-2020
6	REVISED	20-09-2018
5	REVISED	05-05-2017
4	PRELIMINARY	16-03-2017
3	PRELIMINARY	15-03-2017
2	PRELIMINARY	14-03-2017
1	PRELIM SET UP	07-03-2017
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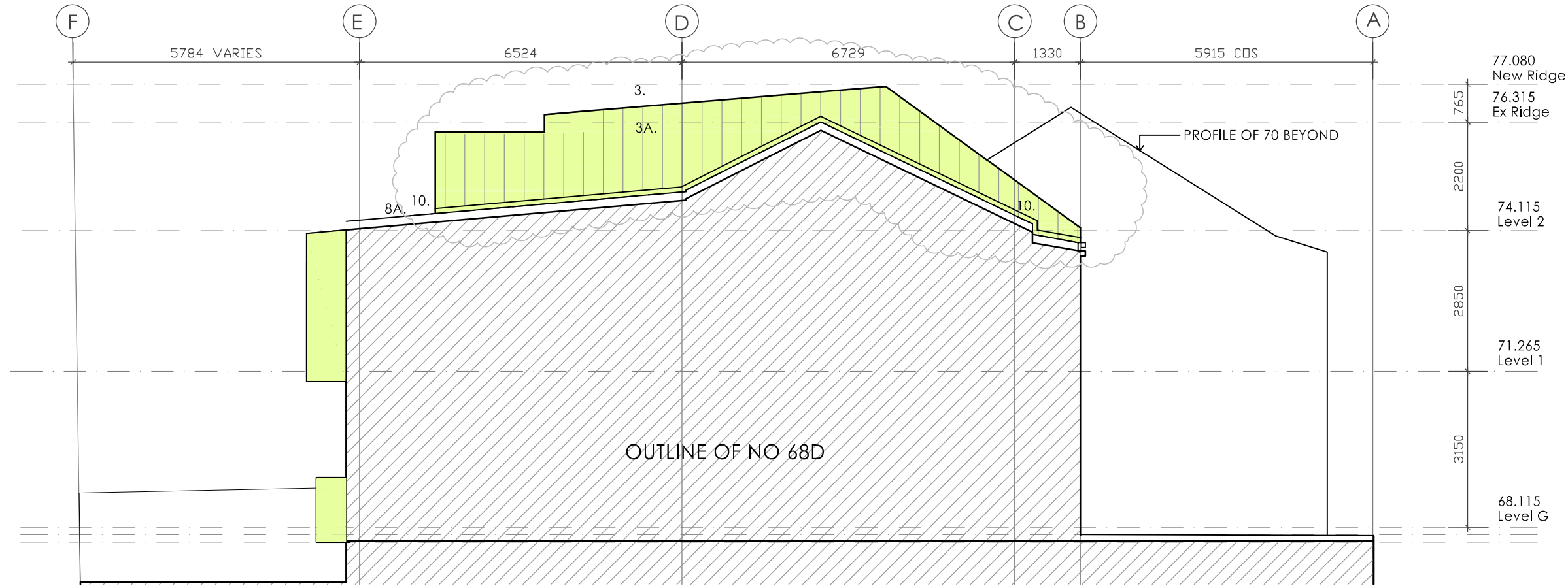


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Date		06-03- 2017	
Project No.	Dwg No.	Rev	
1001	DA-05	16	



SECTIONAL ELEVATION FROM 70

- Legend :**
1. Roof over Juliette balconies beyond
Clear finished 25 x 25 hardwood dressed
battens over micasious coated sheet
steel screen wing walls.
Wrought iron balustrade to future detail
 2. Colorbond gutter and accessories.
 3. Silver grey colorbond standing seam
roofing to replace existing roof
insulated to achieve value of R=4
with foil backed insulation blanket min
55mm thick
 - 3A. Silver grey colorbond standing seam
cladding to match new roof as specified
 4. New CLT cross laminated timber framed
planters with membranes to detail planting
to landscape architect's detail behind
 5. Timber lined deck to detail below.
 6. New skylight and CLT walls to detail.
 7. New colorbond DP's to be connected
to RW tanks for garden irrigation.
 8. Colorbond capping over extended
party walls.
 - 8A. Colorbond capping over existing party
walls.
 9. Fixed aluminium louvre solar shading
panels over skylight
 10. 100X700 nominal gutter on zinc flashing
over brick parapet
 11. Extended brick party wall, render and
paint finish



SECTIONAL ELEVATION FROM 68D

EXTERNAL SECTIONAL
ELEVATIONS

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5	NOTES RE COLORBOND ROOF REVISED	12-08-2021					1.0 2.0 3.0 5.0
4	REVISED FOR NEW ROOF	11-08-2021					
3	RE ISSUED	09-07-2020					Date 06-03- 2017
2	PARAPET TO ROOF GARDEN, DIMENSIONS ADDED	25-05-2020					Project No. Dwg No. Rev
1	FIRST ISSUE	19-05-2020					1001 DA-16 05
Rev. AMENDMENT		Date					